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GREEN STREET ADDITION + ADU

1532 S. GREEN STREET, SALT LAKE CITY, UTAH 84105

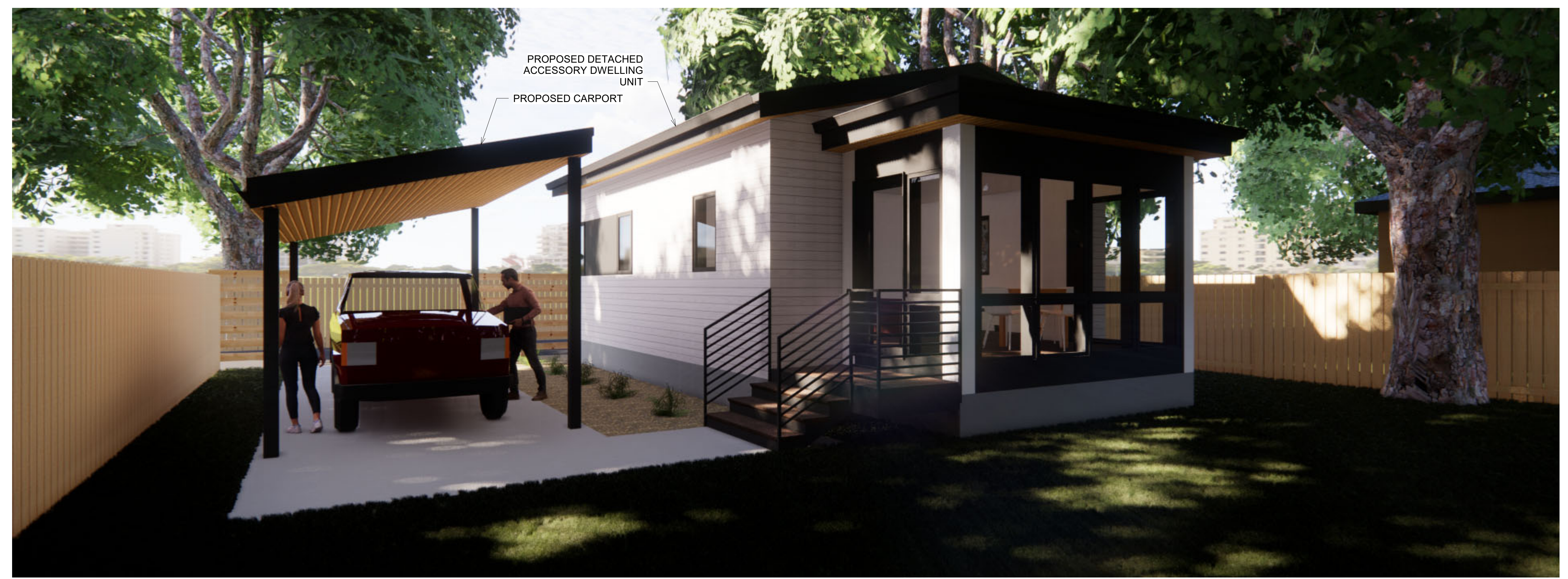
OWNERS: DORIAN ROSEN

ADU CONDITIONAL USE | 11/30/2021

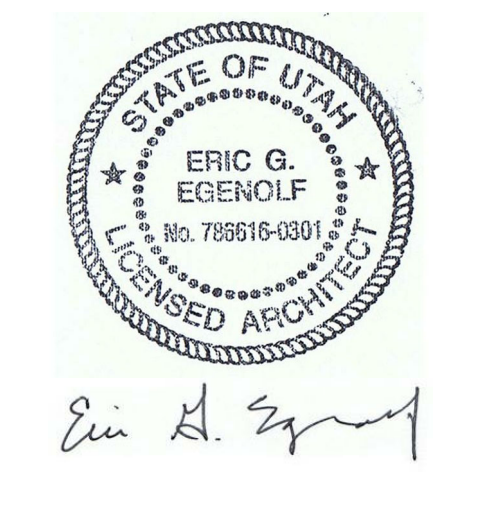
P s R o U c d E i s o S

3055 s. grace street
salt lake city, utah 84109
p.801.906.0866
www.processpllc.com

PROJECT RENDERING:



GENERAL CONTRACTOR
BUILT BY DESIGN CONSTRUCTION
475 E. REDONDO AVENUE
SALT LAKE CITY, UT 84105
PHONE: 801-205-8231
CONTACT: JEREMY HIGGINSON
EMAIL: jeremy@builtbc.com



No.	Description	Date

VICINITY MAP:



PROJECT INFORMATION:

PROJECT ADDRESS: 1532 S. GREEN STREET, SALT LAKE CITY, UTAH 84105
 PROJECT OWNER: DORIAN ROSEN
 GENERAL CONTRACTOR: BUILT BY DESIGN CONSTRUCTION
 ARCHITECT: PROCESS STUDIO PLLC
 STRUCTURAL ENGINEER: TO BE DETERMINED
 PROJECT DESCRIPTION: NEW ADDITION TO EXISTING SINGLE FAMILY DWELLING.
 NEW DETACHED ACCESSORY DWELLING UNIT AT THE REAR OF THE PROPERTY, ACCESSIBLE BY A SHARED ALLEY.

DRAWING LIST:

SHEET #	SHEET NAME
GENERAL, ACCESSORY DWELLING	
GI002	ADU COVER SHEET
ARCHITECTURAL, 2 - ACCESSORY DWELLING	
AE003	ADU SITE PLAN + ZONING ANALYSIS
AE111	FLOOR PLANS - ACCESSORY DWELLING
AE112	ROOF PLANS - ACCESSORY DWELLING
AE211	EXTERIOR ELEVATIONS - ACCESSORY DWELLING
AE212	EXTERIOR VIEWS - ACCESSORY DWELLING
AE213	EXTERIOR RENDERINGS - ACCESSORY DWELLING
AE311	BUILDING SECTIONS - ACCESSORY DWELLING

GREEN STREET ADDITION + ADU
ADU COVER SHEET

Project Status: ADU CONDITIONAL USE
 Project Number: 21_0040
 Date: 11/30/2021
 Drawn by: MDB
 Checked by: EGE

GI002

Scale

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AERIAL VIEW FROM SOUTHWEST

B4
AE003

CODE & ZONING ANALYSIS:

APPLICABLE CODES PER SALT LAKE CITY BUILDING SERVICES:

- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2020 NATIONAL ELECTRIC CODE (NEC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) FOR RESIDENTIAL
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 1995 HOUSING CODE
- TITLE 18 OF SALT LAKE CITY ORDINANCES-BUILDING & CONSTRUCTION

SALT LAKE CITY ZONING:

- PROJECT INFORMATION
- 1532 S. GREEN STREET SALT LAKE CITY, UTAH 84109
- PARCEL #16-18-278-009-0000
- LEGAL DESCRIPTION: LOTS 5 & 6, BLK 2, MIDVALE SUB 4467-1163 5354-0372 5433-00555456-0900 5610-1265 5948-2253 7259-2557 8378-9235 09952-1314

ZONING:

- R-1-5000, IN THE LIBERTY WELLS NATIONAL HISTORIC DISTRICT
- LOT AREA
 - MINIMUM LOT AREA = 5,000 SF
 - EXISTING LOT AREA = 7,850 SF
- LOT WIDTH
 - MINIMUM LOT WIDTH = 50'
 - EXISTING LOT WIDTH = 50' +/-
- LOT DEPTH
 - EXISTING LOT DEPTH = 157' +/-
- BUILDING HEIGHT
 - MAXIMUM HEIGHT = 28' TO RIDGE (PITCHED) OR 20' TO FLAT
 - MAXIMUM EXTERIOR WALL = 20' AT SETBACK, 1' INCREASE FOR EACH ADDITIONAL FOOT OF SETBACK.
 - EXISTING HEIGHT = 16' - 4" TO RIDGE
10' - 4" TO TOP OF EXTERIOR WALL

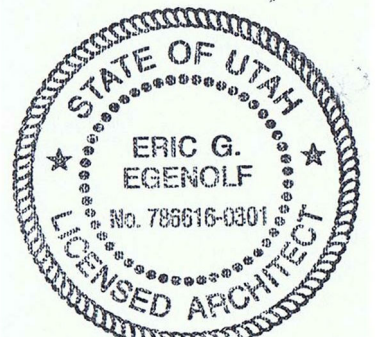
PRINCIPLE BUILDING:

- SETBACKS
 - FRONT YARD
 - MINIMUM FRONT YARD = 20', OR AVERAGE OF EXISTING BUILDINGS ON BLOCK FACE.
 - EXISTING FRONT YARD = 23' - 5" TO PROP. LINE, 26.5' TO BACK OF SIDEWALK
 - INTERIOR SIDE YARD
 - MINIMUM SIDE YARDS = 4' ONE SIDE, 10' OTHER SIDE
 - EXISTING SIDE YARDS = 4.2' ONE SIDE, 8.8' OTHER SIDE
 - REAR YARD
 - MINIMUM REAR YARD = LESSER OF 25% LOT DEPTH OR 20'
 - EXISTING REAR YARD = 20'
- LOT COVERAGE
 - MAXIMUM COVERAGE = 40% (PRINCIPLE + ACCESSORY BUILDINGS)
- PRINCIPAL STRUCTURES
 - EXISTING MAIN HOUSE = 858 SF
 - EXISTING COVERED PORCH = 18 SF
 - PROPOSED SUNROOM ADDITION = 319 SF
 - PROPOSED COVERED DECK ADDITION = 106 SF
 - EXISTING DETACHED GARAGE = 313 SF
 - PROPOSED ACCESSORY DWELLING = 650 SF
 - PROPOSED CAR PORT = 220 SF
 - EXISTING TOTAL FOOTPRINTS = 2,484 SF
- LOT COVERAGE = 2,484 SF / 7,850 SF = 32% < 40%

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Eric G. Egenolf

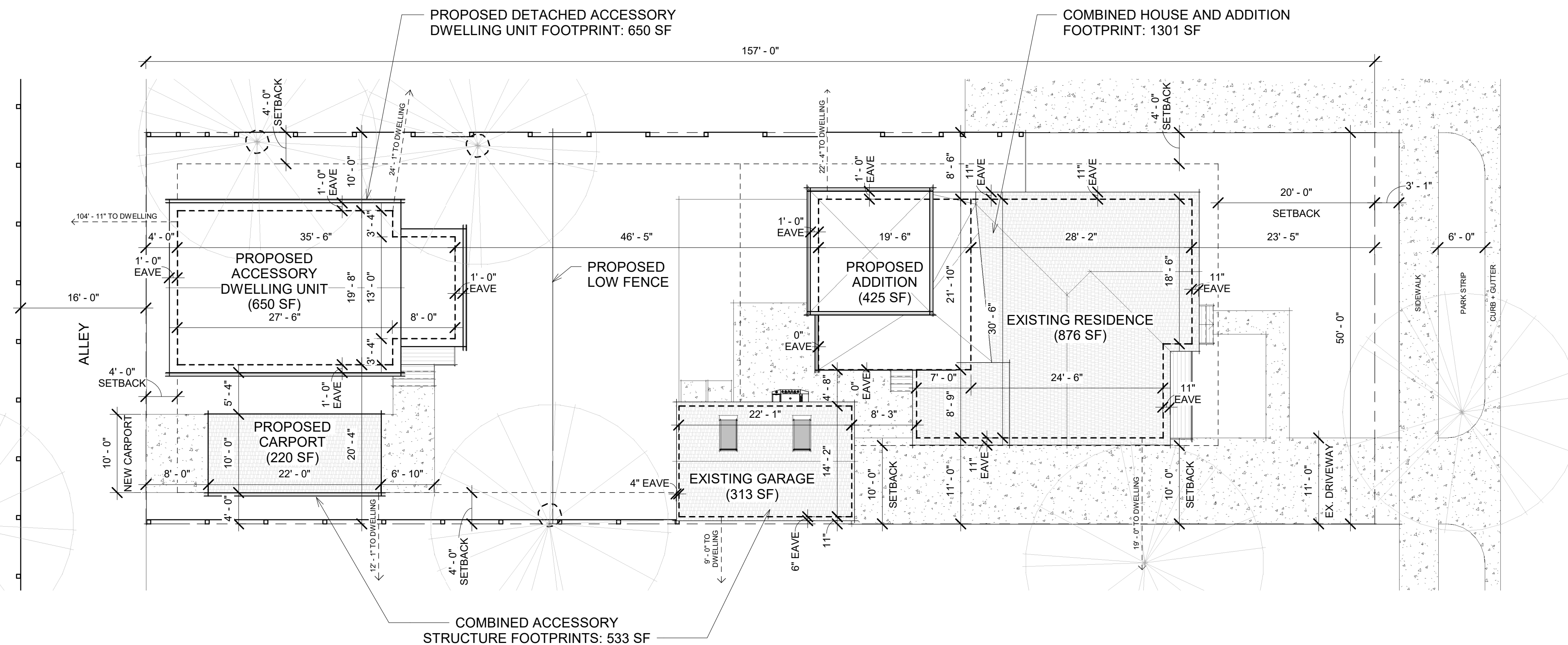
ACCESSORY STRUCTURES:

ACCESSORY DWELLING UNIT (DETACHED) REQUIREMENTS:

- PARKING
 - ONE ON-SITE PARKING SPACE REQUIRED.
- SIZE
 - 50% OF THE PRINCIPLE BUILDING FOOTPRINT, NOT TO EXCEED 650 SF.
 - AVAILABLE SIZE = 1,301 SF X 0.5 = 650 SF
- LOCATION
 - SHALL BE LOCATED BETWEEN THE REAR WALL OF THE PRINCIPLE BUILDING AND THE REAR LOT LINE.
- SETBACKS
 - PRINCIPLE STRUCTURES = 10' (ON SAME OR ADJACENT LOT)
 - SIDE AND REAR = 4'
- BUILDING HEIGHT
 - MAXIMUM HEIGHT = HEIGHT OF PRINCIPLE BUILDING OR 17', WHICHEVER IS LESS, MEASURED TO RIDGE.
 - PROPOSED HEIGHT = 14' - 6" (SEE ELEVATIONS)

OTHER ACCESSORY STRUCTURES

- YARD, BULK AND HEIGHT LIMITATIONS:
- ACCESSORY BUILDING SETBACKS:
 - SIDE + REAR YARDS = 1'-0"
 - PRINCIPLE BUILDING = 4'
 - BUILDING ON ADJACENT LOT = 10'
- YARD COVERAGE
 - MAXIMUM COVERAGE = 50% OF PRINCIPLE BUILDING FOOTPRINT, UP TO 720 S.F., BUT NOT MORE THAN 50% OF THE TOTAL REAR YARD.
- PRINCIPAL STRUCTURES
 - EXISTING MAIN HOUSE = 858 SF
 - EXISTING COVERED PORCH = 18 SF
 - SUNROOM ADDITION = 319 SF
 - COVERED DECK ADDITION = 106 SF
 - EXISTING TOTAL FOOTPRINT = 1,301 SF
- AVAILABLE COVERAGE = 1,301 SF X 0.5 = 650 SF
- ACCESSORY STRUCTURES
 - EXISTING DETACHED GARAGE = 313 SF
 - PROPOSED CAR PORT = 220 SF
 - TOTAL COVERAGE = 533 SF < 650 SF



ARCHITECTURAL SITE PLAN

A4
1" = 10'-0"
AE003

KEYED NOTES:

**GREEN STREET ADDITION + ADU
ADU SITE PLAN + ZONING ANALYSIS**

Project Status	ADU CONDITIONAL USE
Project Number	21_0040
Date	11/30/2021
Drawn by	MDB
Checked by	EGE

AE003

Scale 1" = 10'-0"

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GENERAL NOTES:

MATERIAL LEGEND:

MATERIAL LEGEND:

KEYED NOTES:

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P R O C E S S O S

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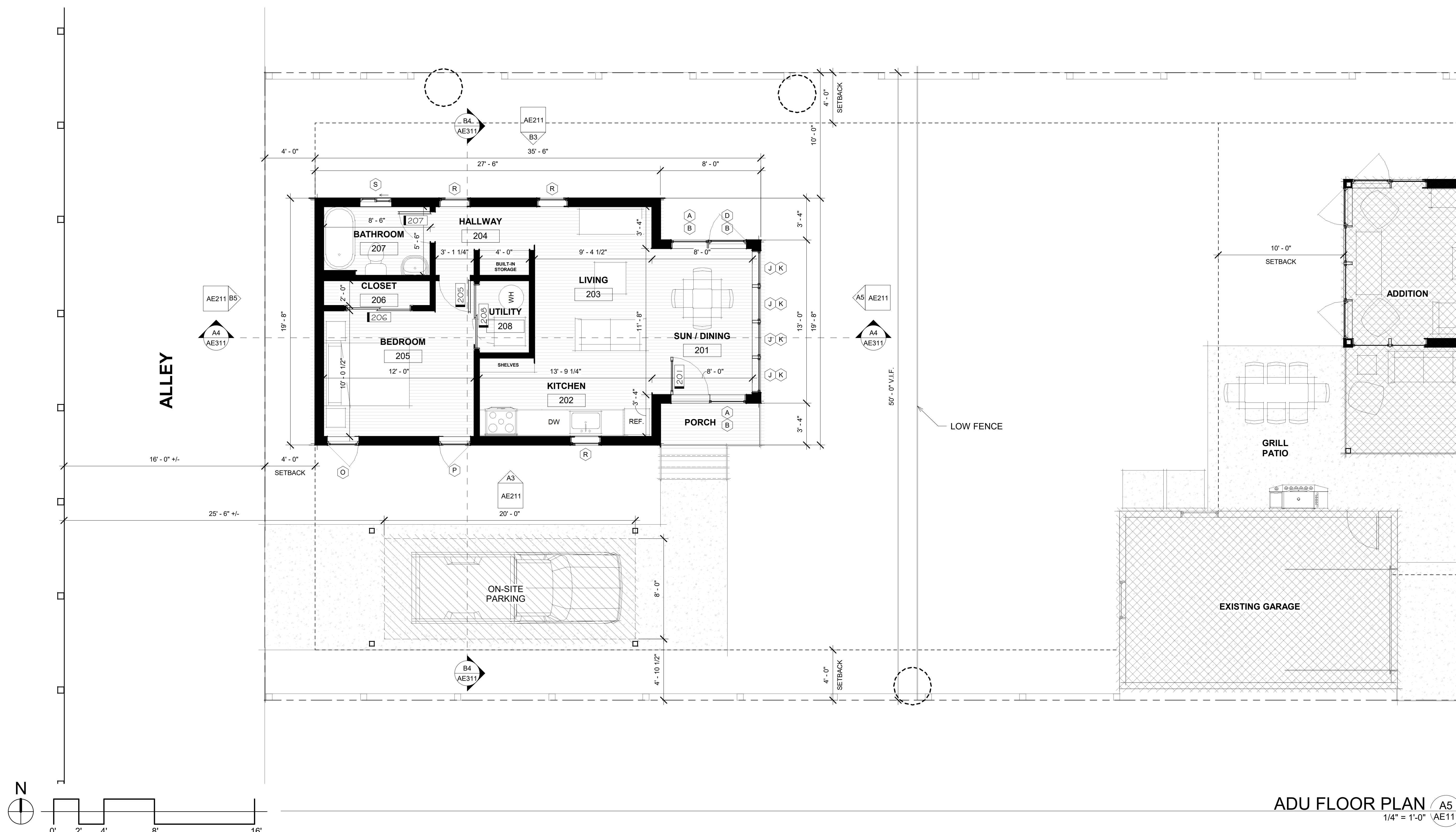
No.	Description	Date

GREEN STREET ADDITION + ADU
FLOOR PLANS - ACCESSORY DWELLING

Project Status	ADU CONDITIONAL USE
Project Number	21_0040
Date	11/30/2021
Drawn by	MDB
Checked by	EGE

AE111

Scale 1/4" = 1'-0"



ADU FLOOR PLAN A5
1/4" = 1'-0" AE111

11/29/2021 4:49:24 PM

1 GENERAL NOTES:

2 MATERIAL LEGEND:

3 MATERIAL LEGEND:

4 KEYED NOTES:

5 KEYED NOTES:

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STATE OF UTAH
ERIC G. EGENOLF
No. 788516-0301
LICENSED ARCHITECT

No.	Description	Date

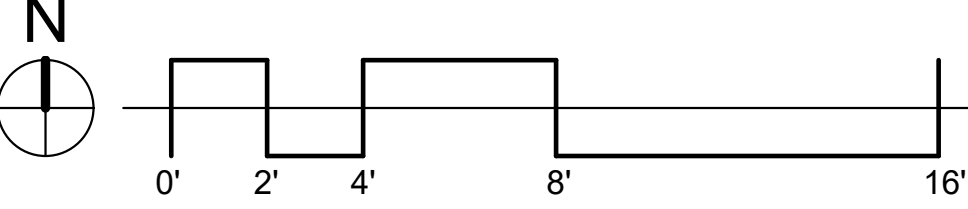
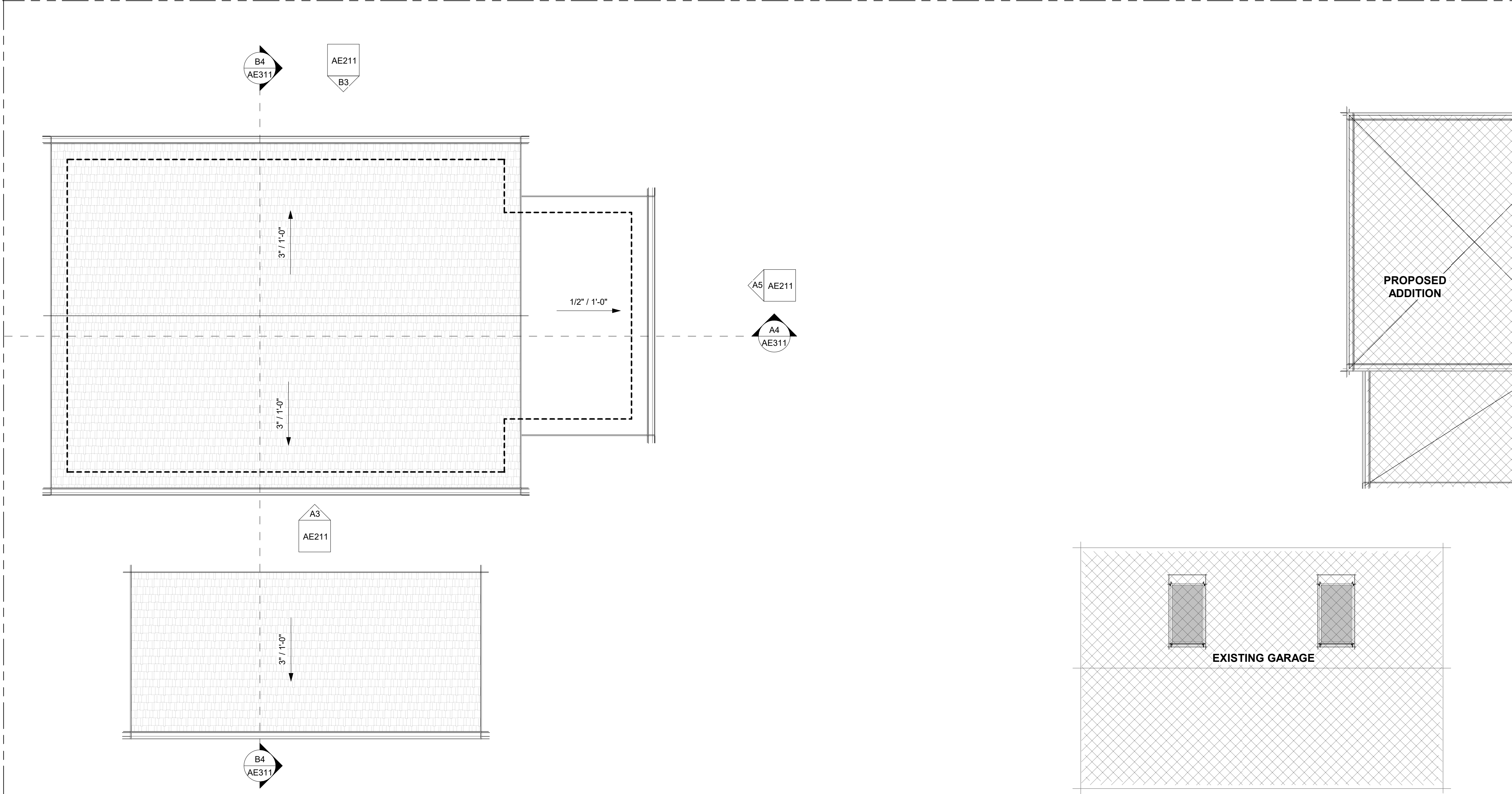
GREEN STREET ADDITION + ADU

ROOF PLANS - ACCESSORY DWELLING

Project Status: ADU CONDITIONAL USE
Project Number: 21_0040
Date: 11/30/2021
Drawn by: MDB
Checked by: EGE

AE112

Scale: 1/4" = 1'-0"



ROOF PLAN - ACCESSORY DWELLING A5
1/4" = 1'-0" AE112

1

2

3

4

5

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GENERAL NOTES:

MATERIAL LEGEND:

- ◇ MS METAL SCREEN
- ◇ PM PRE-FINISHED METAL TO MATCH WINDOWS
- ◇ SD1 CLADDING (PANEL). WHITE.
- ◇ SD2 HORIZONTAL SIDING. MATCH SIZE AND COLOR TO EXISTING RESIDENCE.

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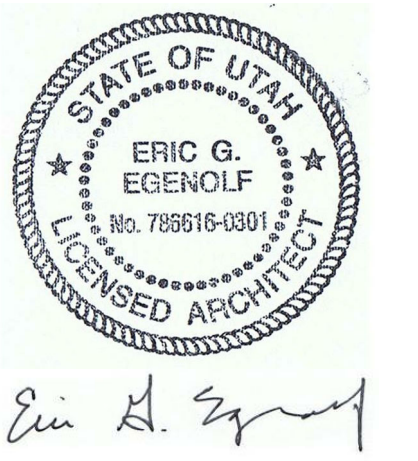
KEYED NOTES:

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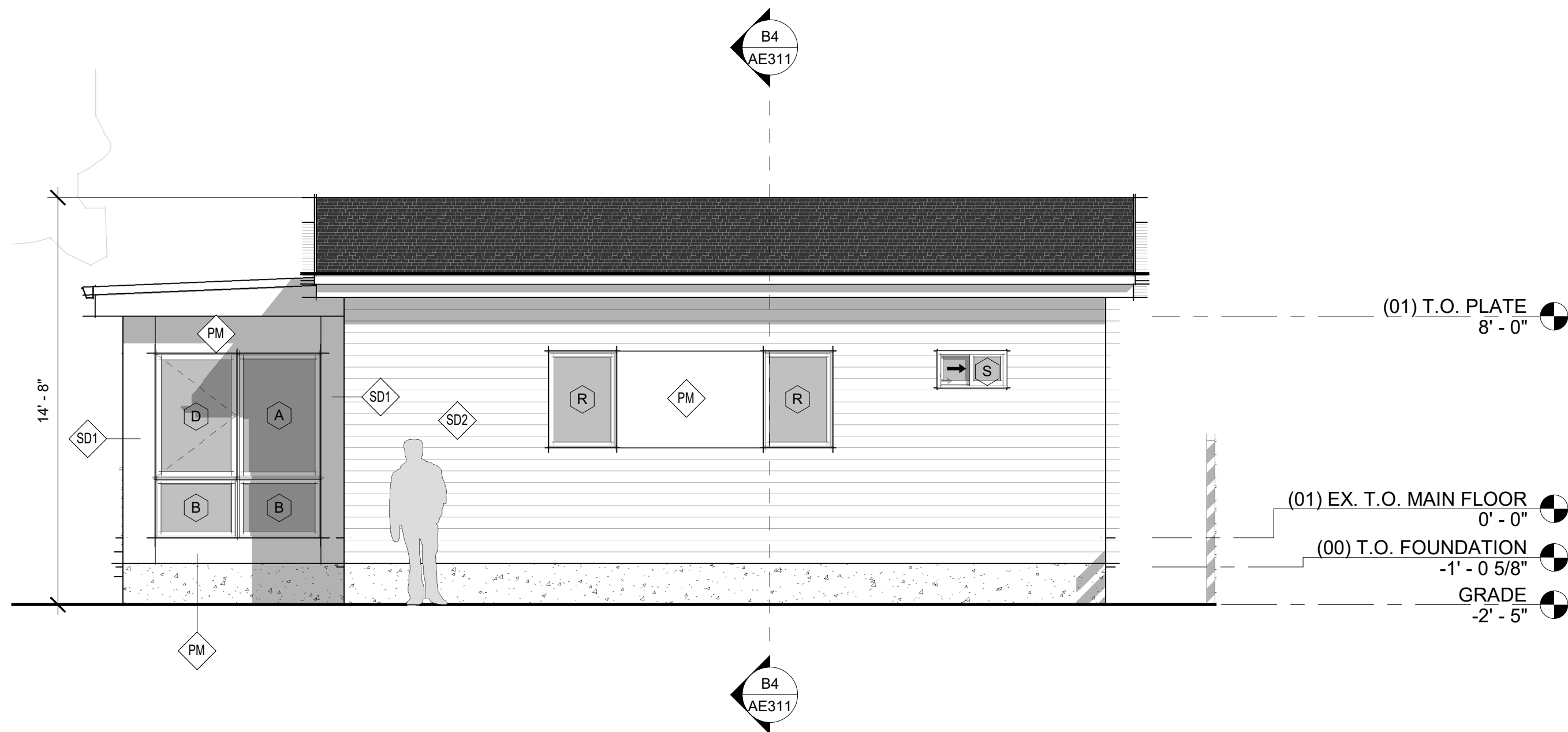
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GREEN STREET ADDITION + ADU
EXTERIOR ELEVATIONS - ACCESSORY DWELLING

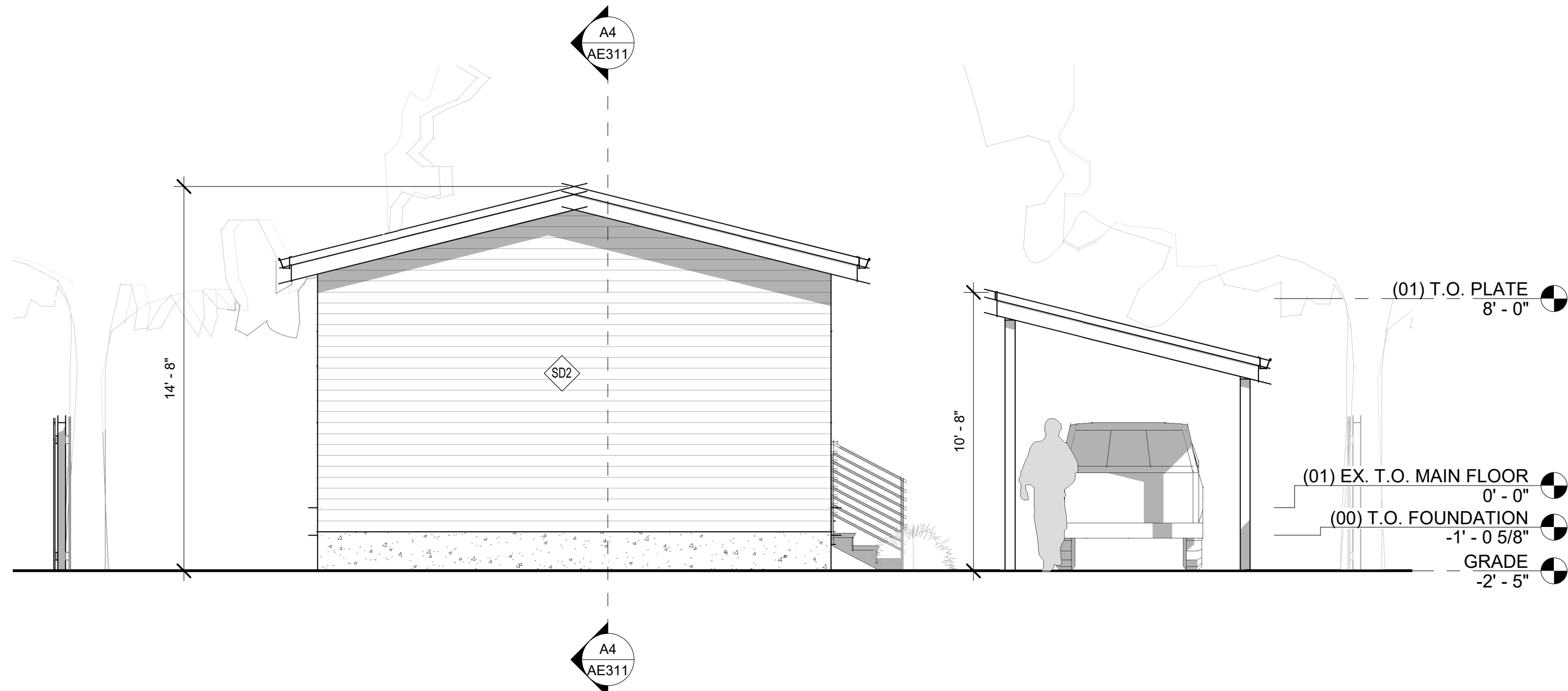
Project Status ADU CONDITIONAL USE
Project Number 21_0040
Date 11/30/2021
Drawn by MDB
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AE211

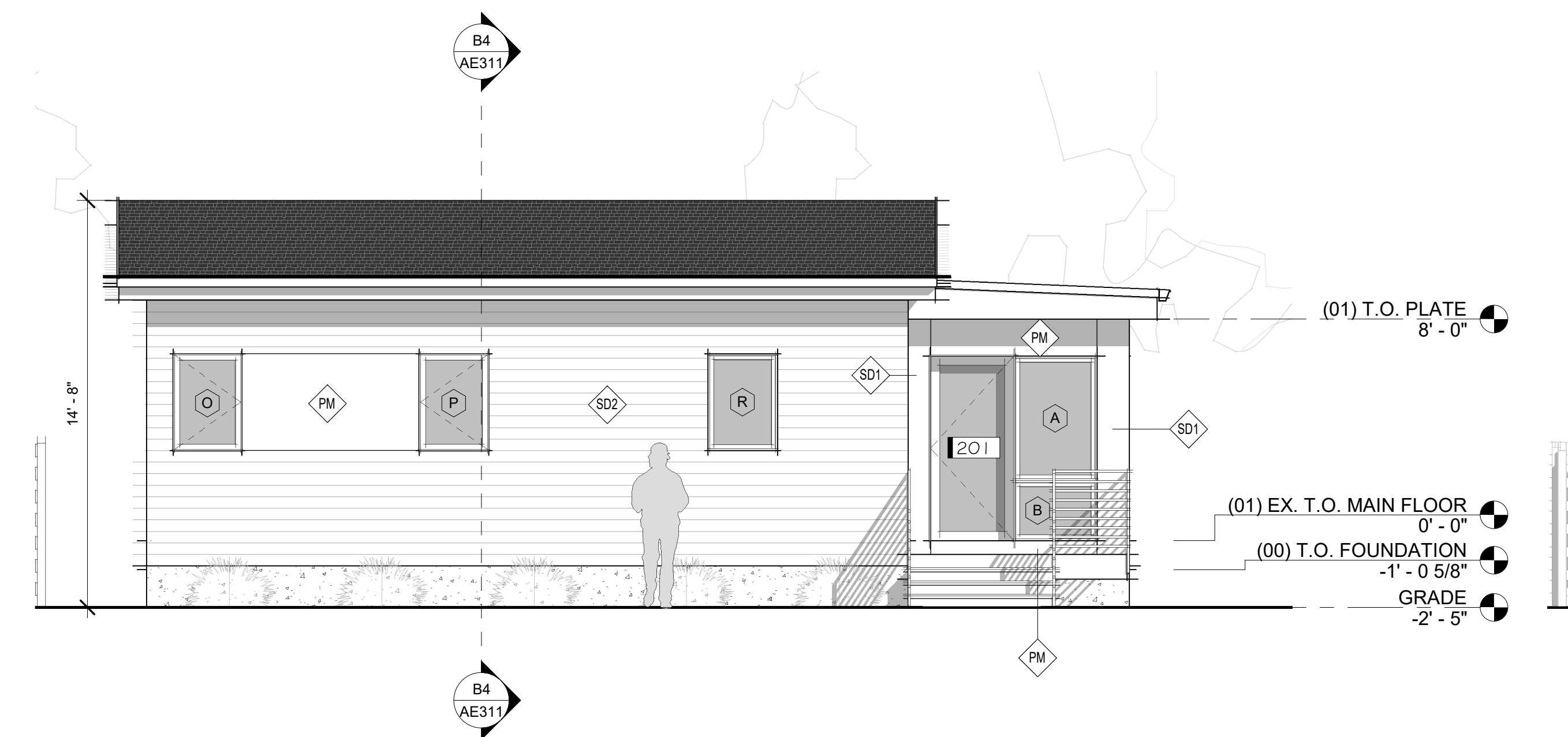
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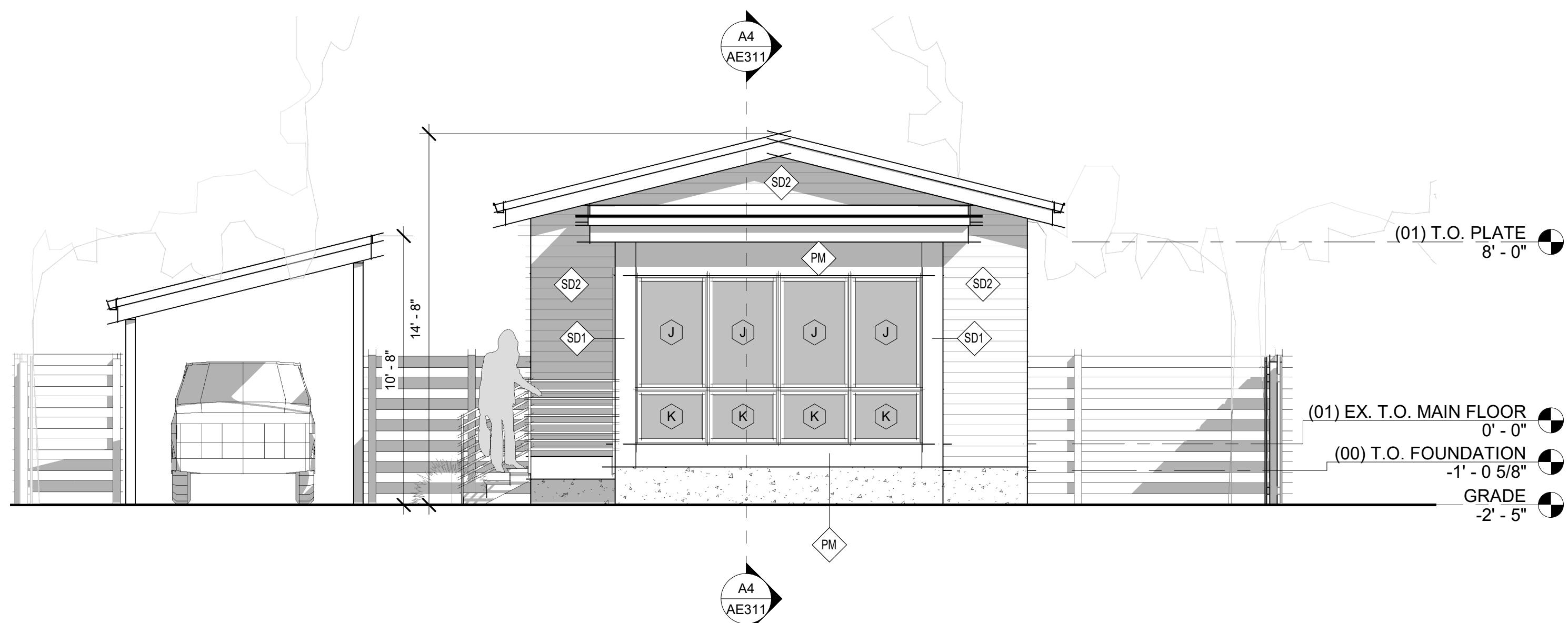
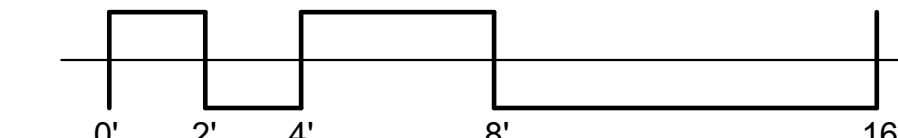
REAR (NORTH) ELEVATION B3
1/4" = 1'-0" AE211



ALLEY (WEST) ELEVATION B5
1/4" = 1'-0" AE211



FRONT (CARPORT/SOUTH) ELEVATION A3
1/4" = 1'-0" AE211



COURTYARD (EAST) ELEVATION A5
1/4" = 1'-0" AE211

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EXTERIOR VIEW FROM ALLEY (SOUTHWEST) C3
AE212

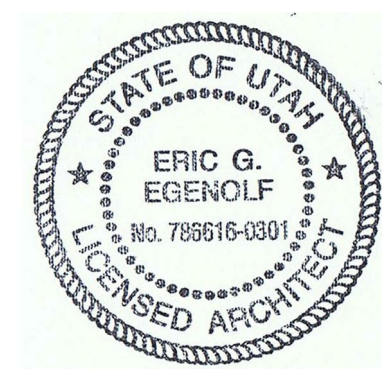


EXTERIOR VIEW FROM SHARED YARD A5
AE212

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No.	Description	Date

GREEN STREET
ADDITION + ADU
EXTERIOR VIEWS -
ACCESSORY DWELLING

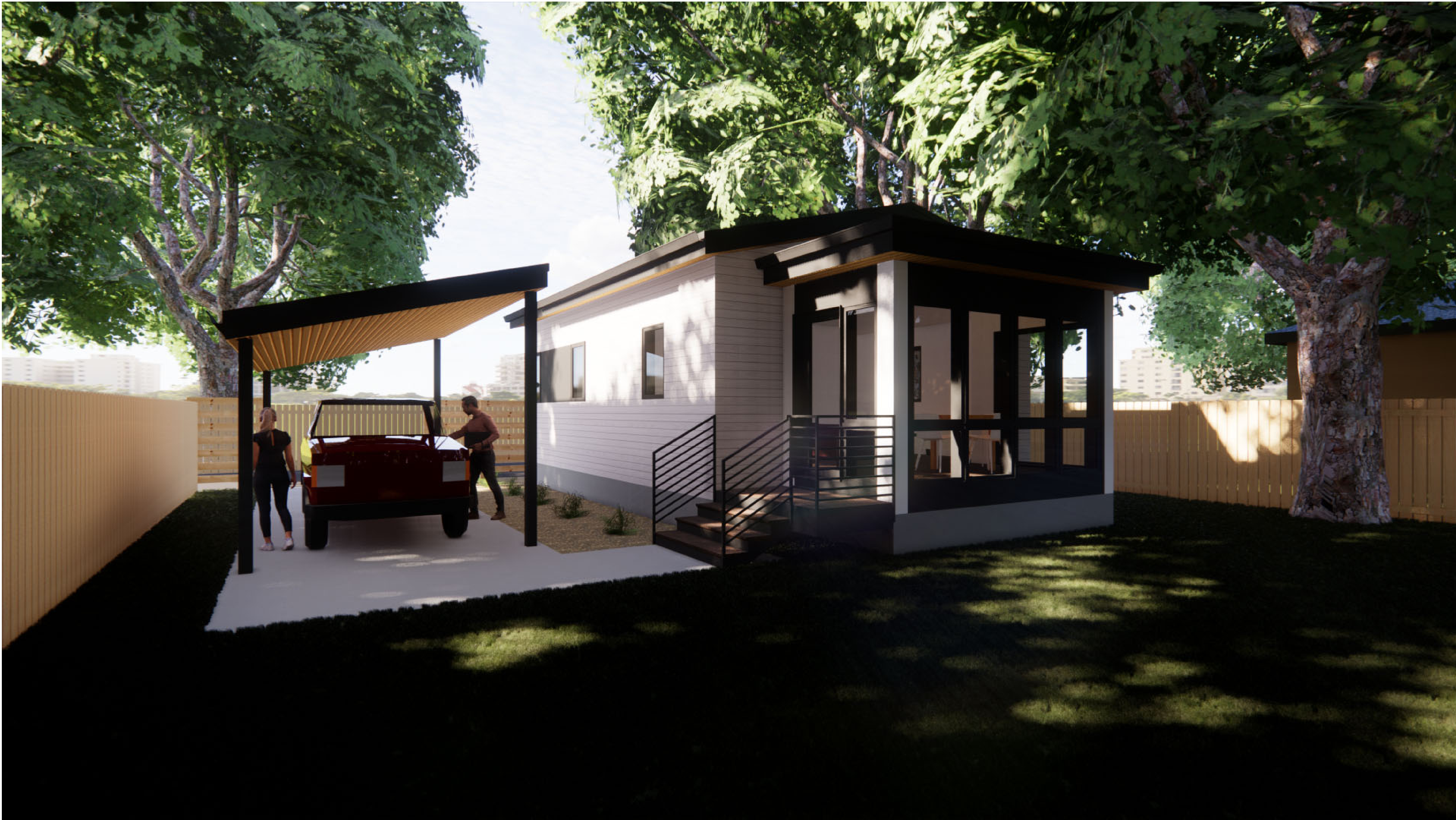
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AE212

Scale

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No.	Description	Date

GREEN STREET
ADDITION + ADU
EXTERIOR RENDERINGS -
ACCESSORY DWELLING

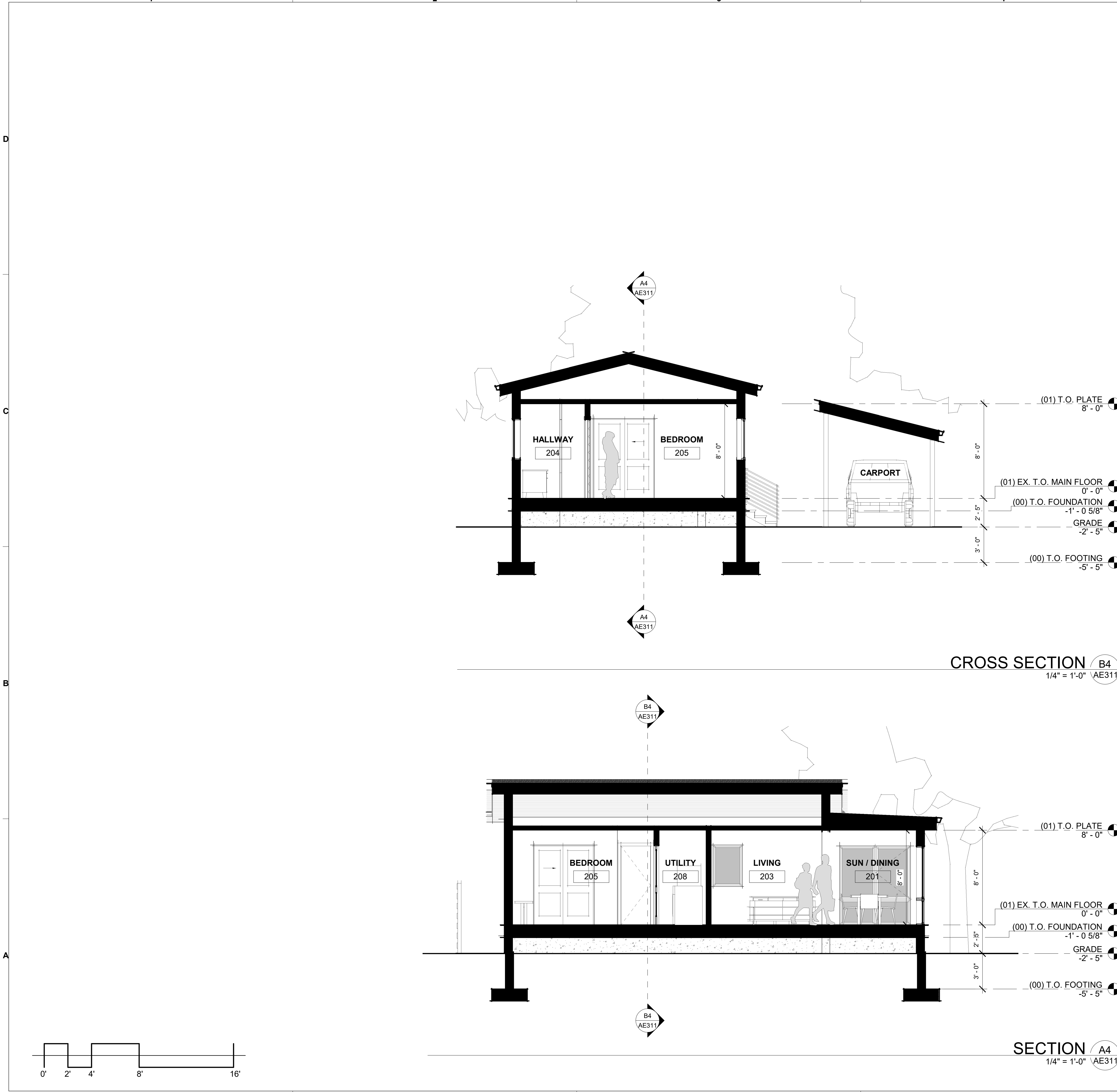
Project Status	ADU CONDITIONAL USE
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AE213

Scale

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CROSS SECTION B4
1/4" = 1'-0" AE311

SECTION A4
1/4" = 1'-0" AE311

GENERAL NOTES:

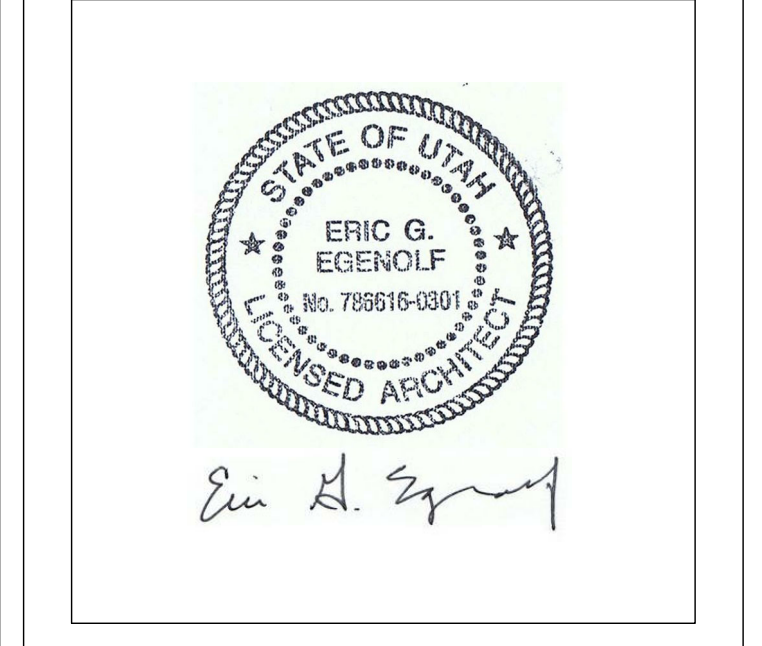
MATERIAL LEGEND:

KEYED NOTES:

PROCESS

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GREEN STREET
ADDITION + ADU

BUILDING SECTIONS -
ACCESSORY DWELLING

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AE311

Scale 1/4" = 1'-0"